

TYPICAL DUAL OCCUPANCY ARRANGEMENT FOR A PROPERTY WITH WATER MAIN ON ONE BOUNDARY ONLY

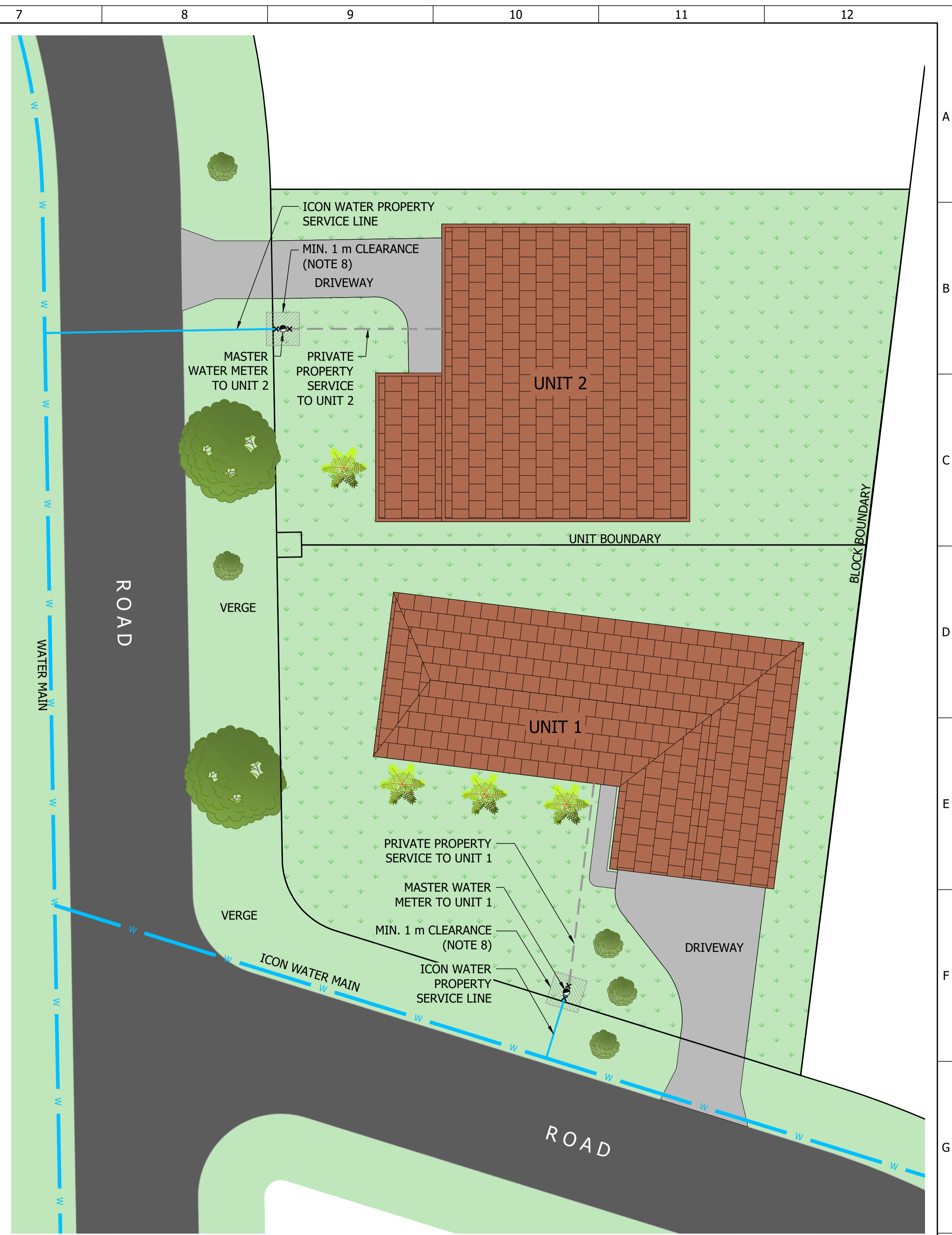
NOTES:

1. THIS STANDARD DRAWING AND NOTES ARE TO BE READ IN CONJUNCTION WITH ICON WATER'S WATER METERING AND SERVICING GUIDELINES, STD-SPE-M006 AND RELEVANT STANDARD DRAWINGS, SERIES 3300.
2. EACH DWELLING IN A DUAL OCCUPANCY MUST HAVE A SEPARATE CONNECTION TO THE ICON WATER MAIN, AND EACH CONNECTION MUST BE EQUIPPED WITH AN INDIVIDUAL ICON WATER METER. SEPARATE CONNECTIONS FOR EACH DWELLING ARE MANDATORY, AND NO SUB-METERING IS PERMITTED. THE TYPICAL SERVICE SIZE FOR EACH DWELLING IS DN20 AND SHALL BE DESIGNED ACCORDING TO ICON WATER STANDARDS AND TECHNICAL REQUIREMENTS.
3. FOR STANDARD METER AND PROPERTY SERVICE LINE INSTALLATION DETAILS REFER TO ICON WATER STANDARD DRAWINGS.
4. IN ORDER TO MINIMISE ROOT DAMAGE, TREES SHOULD BE PLANTED FAR ENOUGH AWAY SO THAT THEIR MATURE CANOPY DOES NOT EXTEND OVER THE EASEMENT OR PIPE PROTECTION ENVELOPE. THE CUSTOMER IS RESPONSIBLE FOR ENSURING THAT THE DESIGNATED CONNECTION POINT AND METER REMAIN FREE FROM ANY ENCUMBRANCES, SUCH AS DRIVEWAYS, LETTERBOXES, TREES, FENCES, AND RETAINING WALLS.
5. SERVICE CONNECTION PITS AND CABINETS SHALL BE INSTALLED A MIN. 1 m CLEAR OF DRIVEWAYS.
6. THE LOCATION OF MASTER METER AND SUBMETERS SHALL ALLOW UNHINDERED ACCESS BY ICON WATER. "UNHINDERED" ACCESS TO READ A WATER METER IS ACHIEVED WHEN THE ROUTE FROM THE ROADWAY TO THE METER PERMITS THE METER READER TO WALK COMFORTABLY, SAFELY AND DIRECTLY TO THE METER OVER A FIRM SURFACE WITHOUT GUIDANCE OR ASSISTANCE.

UNDESIRABLE METER READING OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO, TREE BRANCHES LOWER THAN 2 m ABOVE THE GROUND, LOCKING GATES, FENCES, HEDGES, PLANTS WITH THORNS, RETAINING WALLS, PONDS, STEEP BANKS AND GARDEN FEATURES THAT HIDE THE METER BOX/PIT.
7. PRESSURE REDUCING VALVES (PRV) MUST NOT BE INSTALLED WITHIN ICON WATER'S METER BOXES OR CABINETS.
8. A MINIMUM CLEARANCE OF 1 m IS REQUIRED ON ALL SIDES OF METER BOXES WITHOUT OBSTRUCTIONS. FOR DN20 METER BOXES ICON WATER MAY, ON A CASE BY CASE BASIS GRANT VARIATION FROM STANDARD WITH ONLY 0.5 m CLEARANCE AT THE REAR AND ONE SIDE OF THE METER BOX.

LEGEND:

- W — WATER MAIN
- PROPERTY SERVICE LINE (ICON WATER)
- PROPERTY SERVICE (PRIVATE)
- ICON WATER METER
- METER ISOLATION VALVE
- TREE / SHRUB / PLANT



TYPICAL DUAL OCCUPANCY ARRANGEMENT FOR A PROPERTY WITH A WATER MAIN ON TWO BOUNDARIES (CORNER BLOCK)

| No. | ISSUE | DATE | DRAWN | CHECKED | AUTHORISED |
|-----|---------------|------------|-------------|----------|--------------|
| A | INITIAL ISSUE | 24/09/2024 | M. Matusiak | G. Price | S. Asadolahi |

| ASSET AREA APPLICABILITY | | |
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| DAM | RES | SPS |
| BWS | WAT | STP |
| WTP | SEW | |
| WPS | REC | |



STANDARD DRAWING
UNIT METERING - UNIT TITLE DEVELOPMENTS
METERING ARRANGEMENT
TYPICAL DUAL OCCUPANCY INSTALLATION








| DRAWING STATUS | |
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| Current | |
| SD-3350-C | |
| A1 | A |
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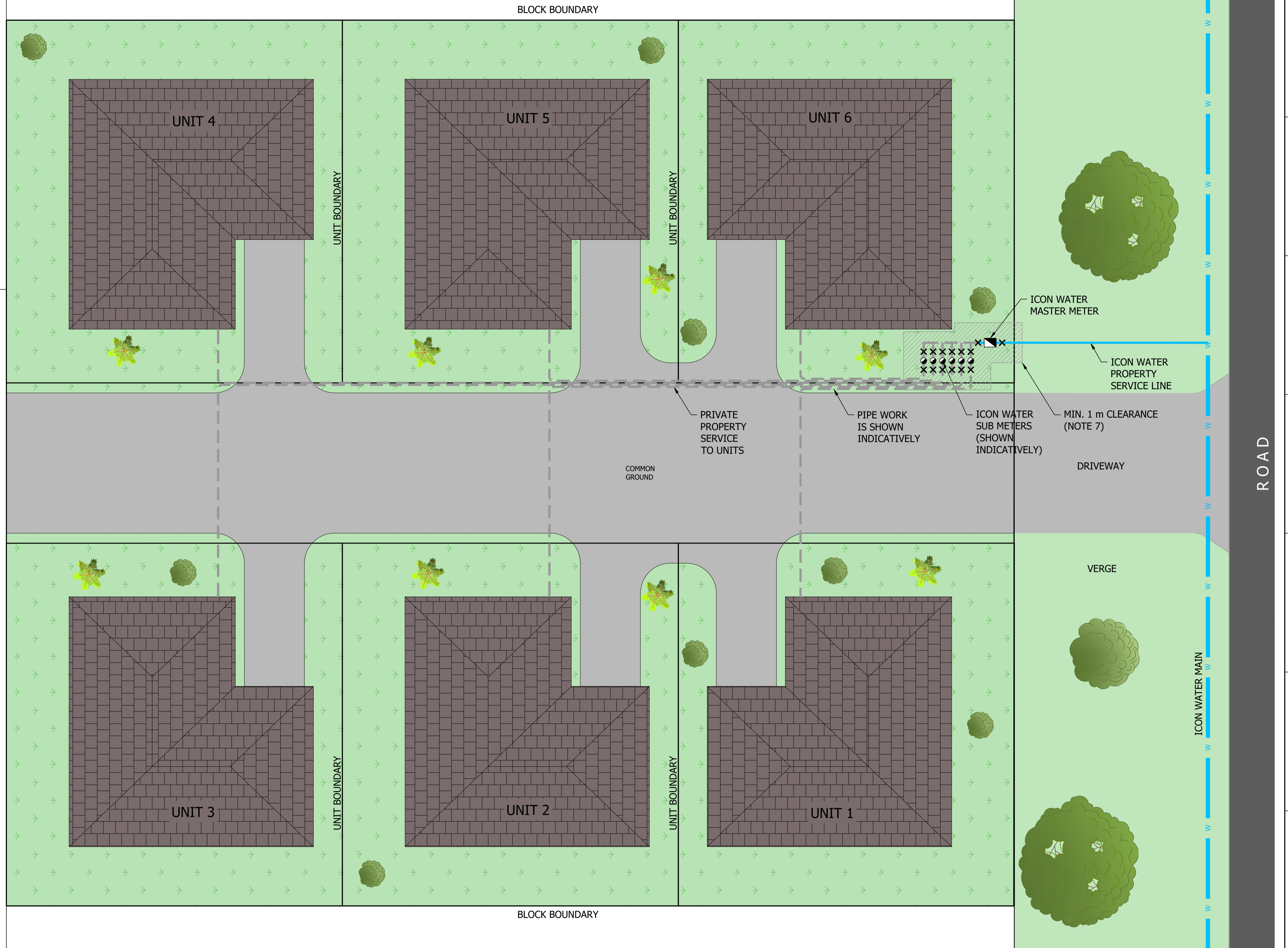
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- FOR STANDARD METER AND PROPERTY SERVICE LINE INSTALLATION DETAILS REFER TO ICON WATER STANDARD DRAWINGS.
- IN ORDER TO MINIMISE ROOT DAMAGE, TREES SHOULD BE PLANTED SO THAT THE MATURE CANOPY DOES NOT REACH OVER THE EASEMENT OR PIPE PROTECTION ENVELOPE. THE CUSTOMER IS RESPONSIBLE TO ENSURE THAT THE DESIGNATED CONNECTION POINT AND METER REMAINS FREE FROM ENCUMBRANCES INCLUDING DRIVEWAYS, LETTERBOXES, TREES, FENCES, AND RETAINING WALLS.
- SERVICE CONNECTION PITS AND CABINETS SHALL BE INSTALLED MIN. 1 m CLEAR OF DRIVEWAYS.
- THE LOCATION OF MASTER METER AND SUBMETERS SHALL ALLOW UNHINDERED ACCESS BY ICON WATER. "UNHINDERED" ACCESS TO READ A WATER METER IS ACHIEVED WHEN THE ROUTE FROM THE ROADWAY TO THE METER PERMITS THE METER READER TO WALK COMFORTABLY, SAFELY AND DIRECTLY TO THE METER OVER A FIRM SURFACE WITHOUT GUIDANCE OR ASSISTANCE

UNDESIRABLE METER READING OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO, TREE BRANCHES LOWER THAN 2 m ABOVE THE GROUND, LOCKING GATES, FENCES, HEDGES, PLANTS WITH THORNS, RETAINING WALLS, PONDS, STEEP BANKS AND GARDEN FEATURES THAT HIDE THE METER BOX/PIT.
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- A MINIMUM CLEARANCE OF 1 m IS REQUIRED ON ALL SIDES OF METER BOXES WITHOUT OBSTRUCTIONS. FOR DN20 METER BOXES ICON WATER MAY, ON A CASE BY CASE BASIS GRANT VARIATION FROM STANDARD WITH ONLY 0.5 m CLEARANCE AT THE REAR AND ONE SIDE OF THE METER BOX.

LEGEND:

-  WATER MAIN
-  PROPERTY SERVICE LINE (ICON WATER)
-  PROPERTY SERVICE (PRIVATE)
-  ICON WATER MASTER METER
-  ICON WATER SUBMETER
-  METER ISOLATION VALVE
-  TREE / SHRUB / PLANT



TYPICAL UNIT TITLE DEVELOPMENT FOR A PROPERTY THAT HAS 3 OR MORE UNITS WITH MASTER METER AT BOUNDARY AND SUBMETERS BELOW GROUND ADJACENT TO MASTER METER

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| INITIAL ISSUE | 24/09/2024 | M. Matusiak | G. Price | S. Asadollahi | |
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| DAM | RES | SPS |
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| ASSET AREA APPLICABILITY | | |



STANDARD DRAWING
 UNIT METERING - UNIT TITLE DEVELOPMENTS
 CLASS B SUBMETERING ARRANGEMENTS
 TYPICAL BELOW GROUND "STRAIGHT" INSTALLATION








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| DRAWING STATUS | |
| Current | |
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NOTES:

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LEGEND:

-  WATER MAIN
-  PROPERTY SERVICE LINE (ICON WATER)
-  PROPERTY SERVICE (PRIVATE)
-  ICON WATER MASTER METER
-  ICON WATER SUBMETER
-  METER ISOLATION VALVE
-  TREE / SHRUB / PLANT



TYPICAL UNIT TITLE DEVELOPMENT FOR A PROPERTY THAT HAS 3 OR MORE UNITS WITH MASTER METER AT BOUNDARY AND SUBMETERS BELOW GROUND ADJACENT TO MASTER METER

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| DAM | RES | SPS |
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| WPS | REC | |
| ASSET AREA APPLICABILITY | | |



STANDARD DRAWING
UNIT METERING - UNIT TITLE DEVELOPMENTS
CLASS B SUBMETERING ARRANGEMENTS
TYPICAL BELOW GROUND "TEE" INSTALLATION








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| DRAWING STATUS | |
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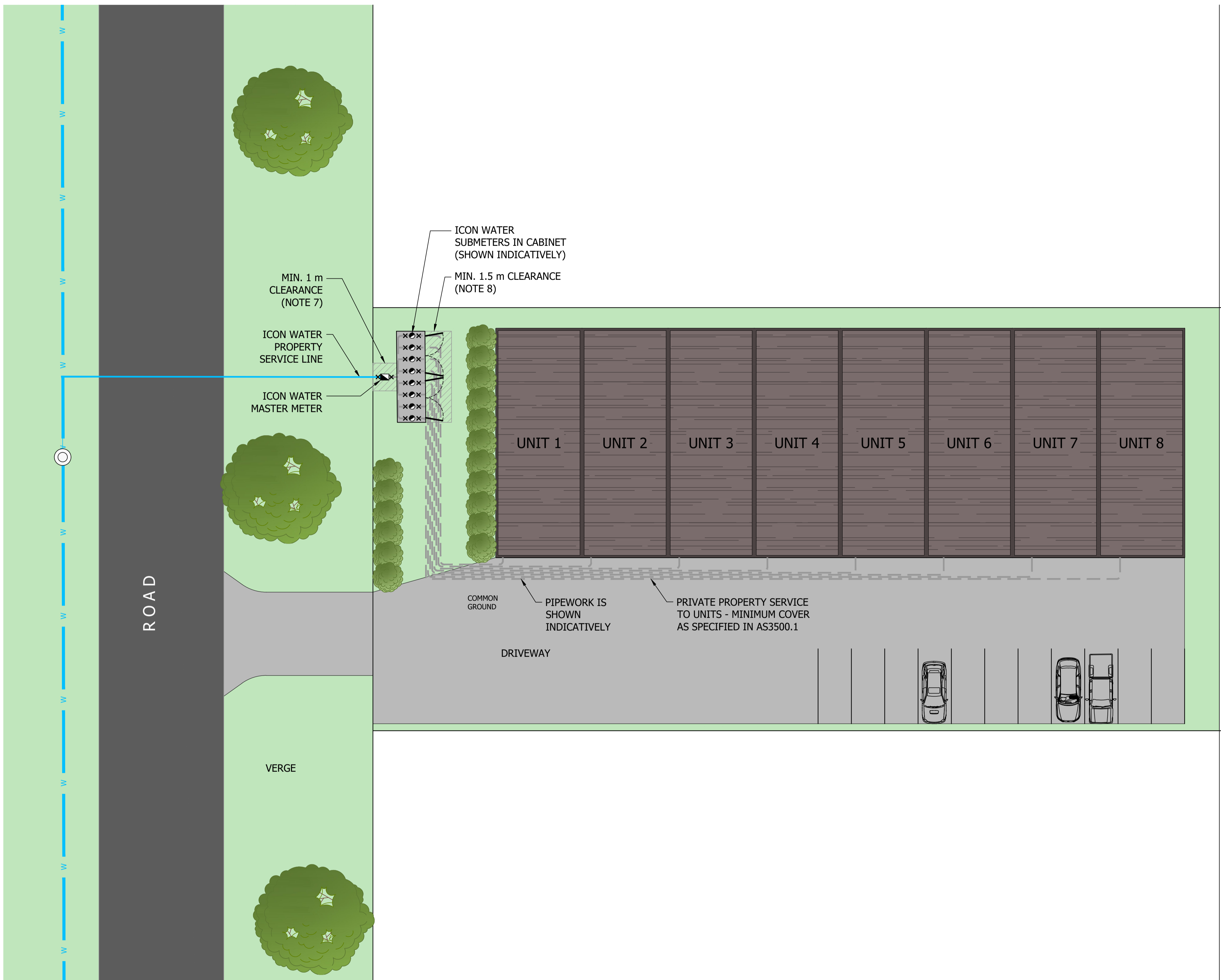
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3. IN ORDER TO MINIMISE ROOT DAMAGE, TREES SHOULD BE PLANTED SO THAT THE MATURE CANOPY DOES NOT REACH OVER THE EASEMENT OR PIPE PROTECTION ENVELOPE. THE CUSTOMER IS RESPONSIBLE TO ENSURE THAT THE DESIGNATED CONNECTION POINT AND METER REMAINS FREE FROM ENCUMBRANCES, INCLUDING DRIVEWAYS, LETTERBOXES, TREES, FENCES, AND RETAINING WALLS.
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8. FOR SUBMETERS IN CABINET A MINIMUM CLEARANCE AREA IS REQUIRED ON THE ACCESS SIDE OF THE CABINET EXTENDING THE ENTIRE LENGTH OF THE CABINET AND WITH A WIDTH EQUAL TO THE WIDTH OF THE DOOR PLUS 0.6 m OR A MINIMUM OF 1.5 m (WHICHEVER IS GREATER).

LEGEND:

-  WATER MAIN
-  PROPERTY SERVICE LINE (ICON WATER)
-  PROPERTY SERVICE (PRIVATE)
-  ICON WATER MASTER METER
-  ICON WATER SUBMETER
-  METER ISOLATION VALVE
-  TREE / SHRUB / PLANT



TYPICAL UNIT TITLE DEVELOPMENT FOR A PROPERTY THAT HAS MORE THAN 6 SUBMETERS WITH MASTER METER AT BOUNDARY AND SUBMETERS IN A CABINET ADJACENT TO MASTER METER

| | | |
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| DAM | RES | SPS |
| BWS | WAT | X STP |
| WTP | SEW | |
| WPS | REC | |



STANDARD DRAWING
UNIT METERING - UNIT TITLE DEVELOPMENTS
CLASS B SUBMETERING ARRANGEMENTS
TYPICAL ABOVE GROUND "TEE" INSTALLATION

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| DRAWING STATUS | |
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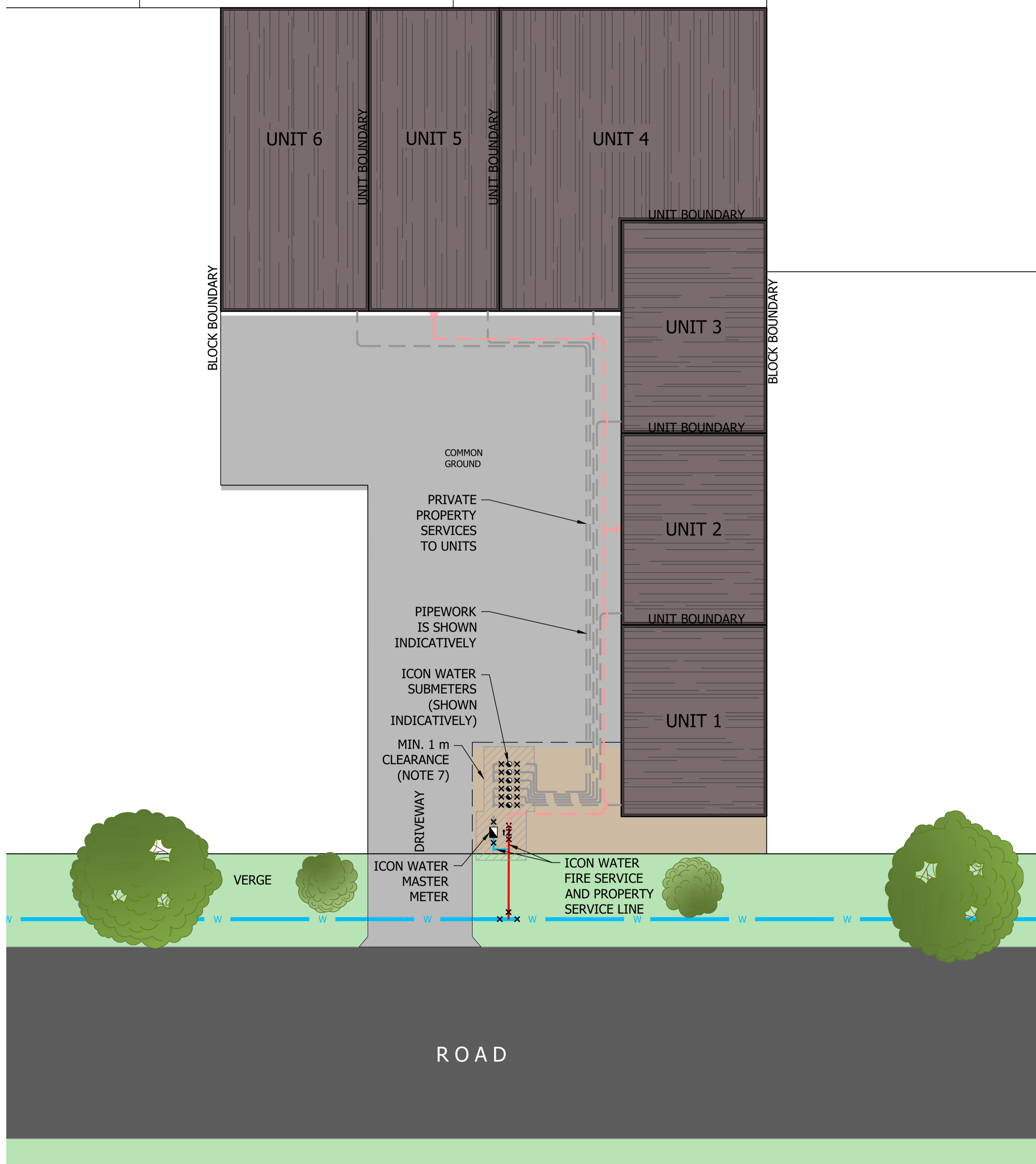
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LEGEND:

-  WATER MAIN
-  PROPERTY SERVICE LINE (ICON WATER)
-  PROPERTY SERVICE (PRIVATE)
-  FIRE SERVICE LINE (ICON WATER)
-  FIRE SERVICE (PRIVATE)
-  ICON WATER MASTER METER
-  ICON WATER SUBMETER
-  METER ISOLATION VALVE
-  NON-RETURN VALVE (BACKFLOW PREVENTION)
-  TREE / SHRUB



TYPICAL COMMERCIAL UNIT TITLE DEVELOPMENT FOR A PROPERTY THAT HAS 3 OR MORE UNITS WITH MASTER METER AT BOUNDARY AND BELOW GROUND SUBMETERS AT ENTRANCE TO PROPERTY

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| DAM | RES | SPS |
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| ASSET AREA APPLICABILITY | | |

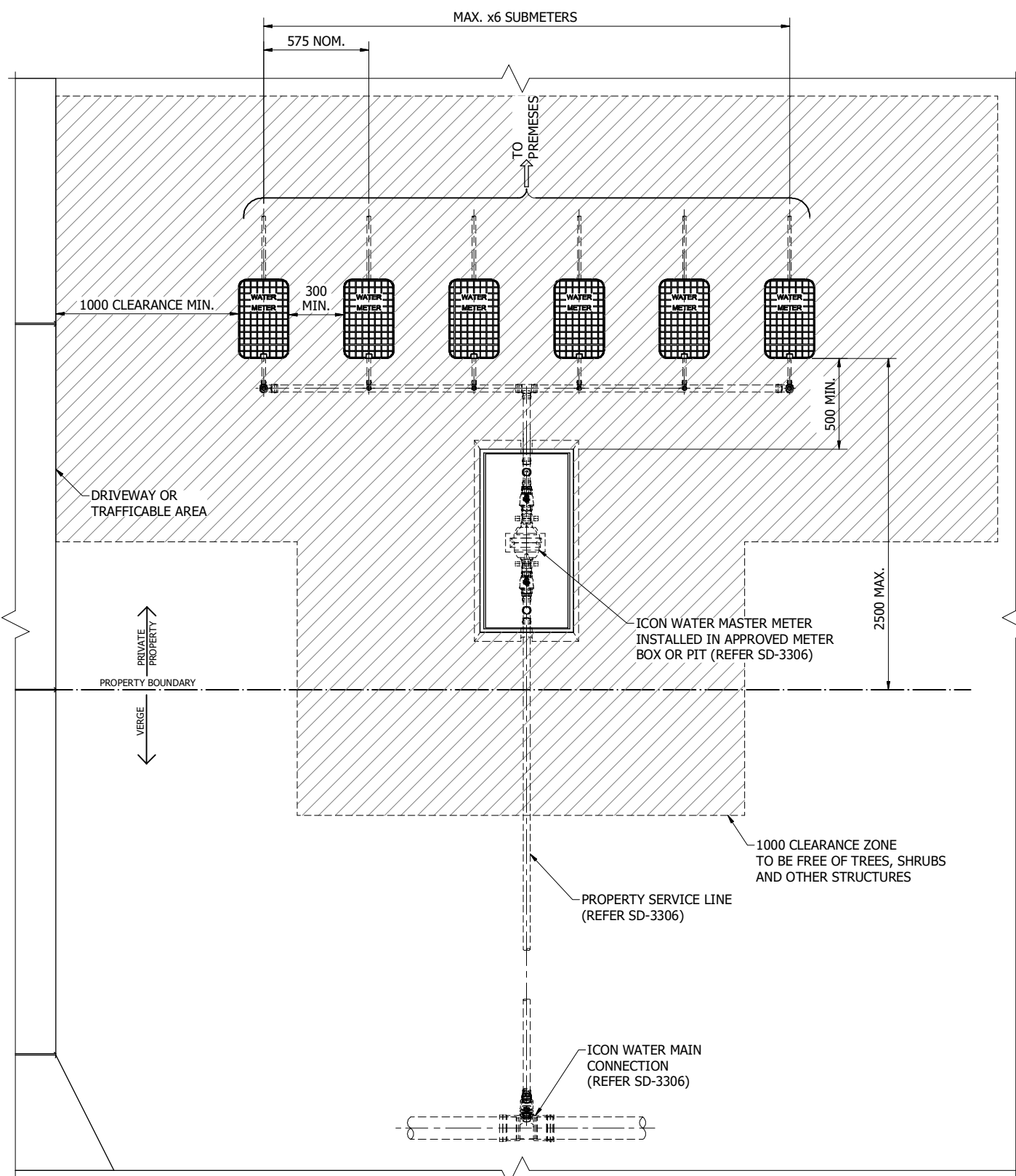


STANDARD DRAWING
UNIT METERING - UNIT TITLE DEVELOPMENTS
CLASS B SUBMETERING ARRANGEMENTS
TYPICAL BELOW GROUND "STRAIGHT" INSTALLATION
WITH FIRE SERVICE

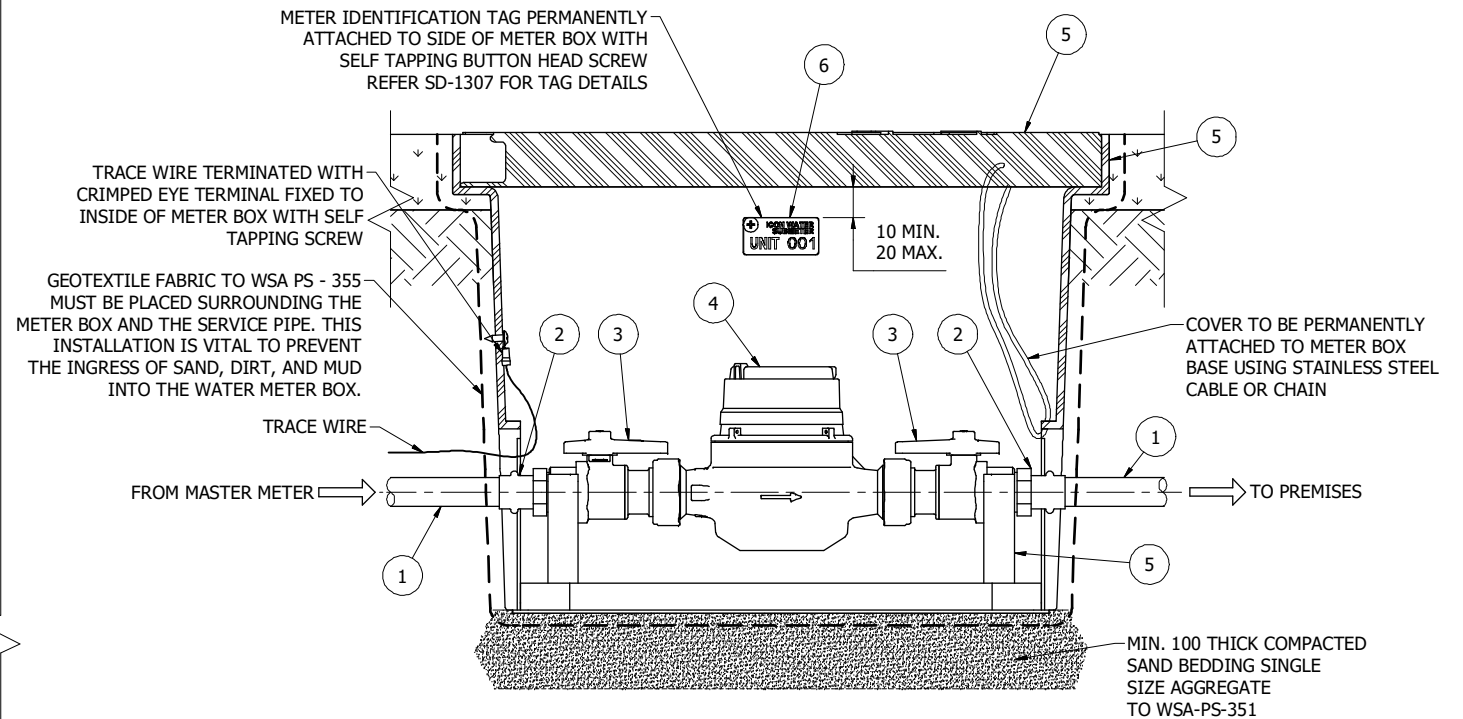
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| DRAWING STATUS | |
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| SD-3354-C | |
| A1 | ISSUE A |
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NOTES:
 1. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.

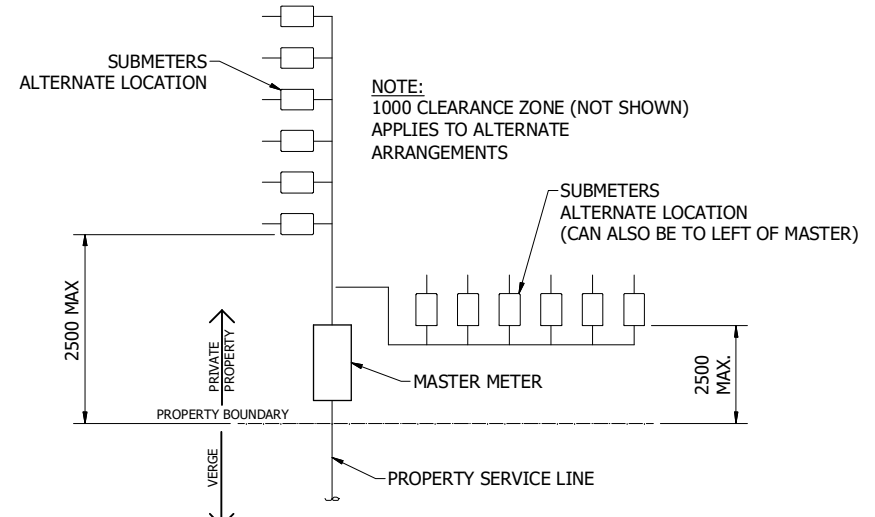
| PARTS LIST | |
|------------|--|
| ITEM | DESCRIPTION |
| 1 | DN20 COPPER TUBE, TYPE B, HARD-DRAWN |
| 2 | 3/4 MALE BSP X DN20 PRESS FIT ADAPTOR |
| 3 | DN20 BALL VALVE - 3/4 FEMALE BSP X METER NUT |
| 4 | DN20 WATER METER - ICON WATER APPROVED |
| 5 | METER BOX WITH BRACKET BASE AND NON SLIP LID |
| 6 | UNIT METER IDENTIFICATION TAG |



PLAN VIEW - BELOW GROUND MASTER AND SUBMETER ARRANGEMENT
 FOR RESIDENTIAL PROPERTIES UP TO 6 METERS INCL. BODY CORPORATE SUBMETER
 NOT TO SCALE



SECTIONAL DETAIL - SUBMETER BOX
 NOT TO SCALE



ALTERNATE SUBMETER ARRANGEMENTS
 NOT TO SCALE

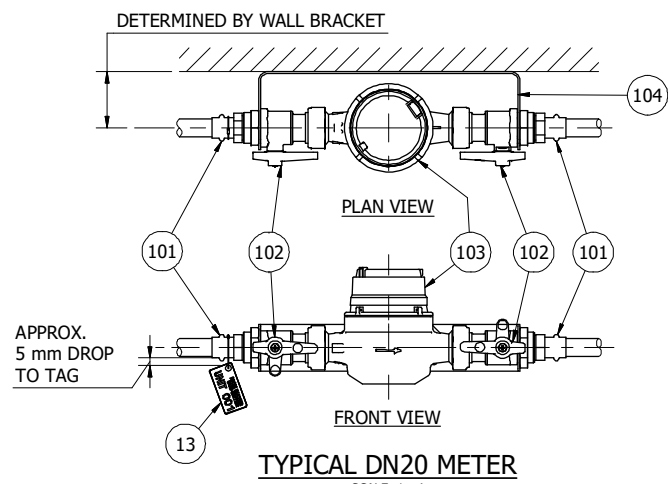
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| ASSET AREA APPLICABILITY | | | | |
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| DAM | RES | SPS | | |
| BWS | WAT | X STP | | |
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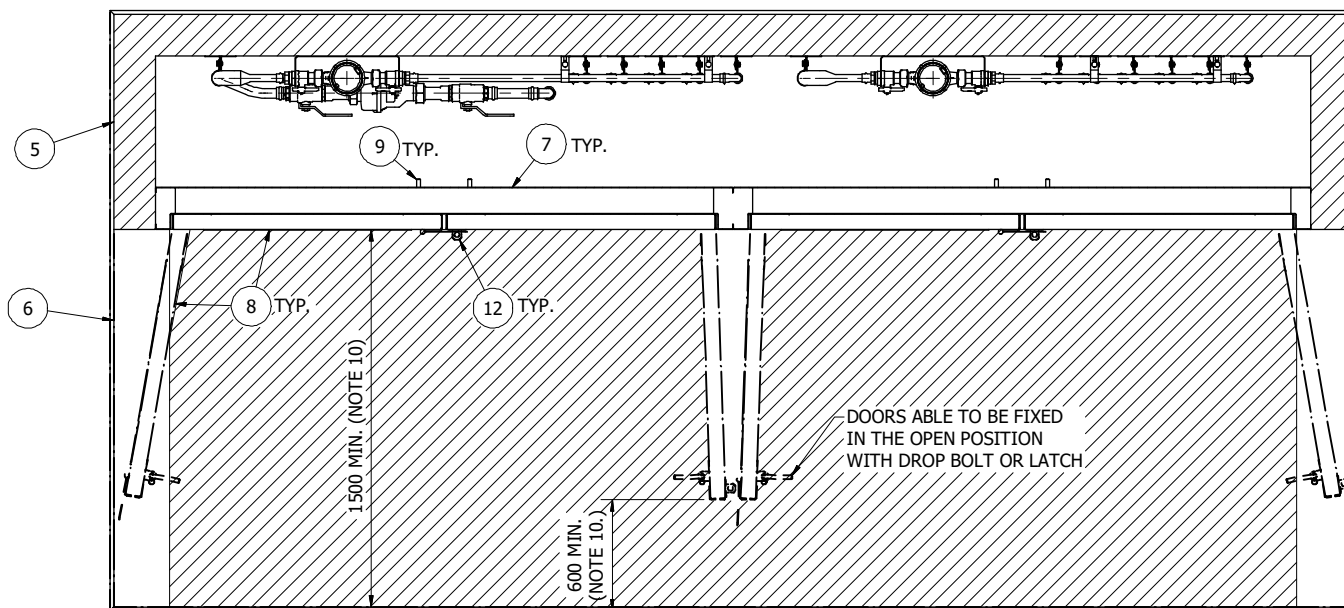
STANDARD DRAWING
 UNIT METERING - UNIT TITLE DEVELOPMENTS
 CLASS B SUBMETERING ARRANGEMENTS
 BELOW GROUND TYPICAL DETAILS

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| DRAWING STATUS | Current |
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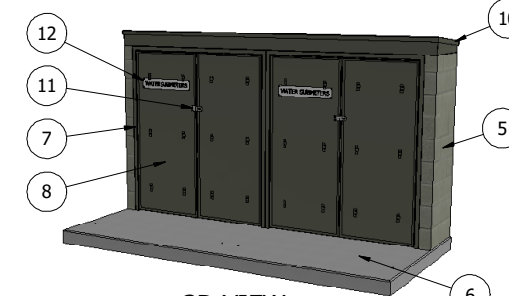
TYPICAL DN20 METER
SCALE: 1 : 4

| ITEM | DESCRIPTION | QTY |
|------|---|-----|
| 101 | 3/4" MALE BSP X DN20 PRESS FIT ADAPTOR | 2 |
| 102 | DN20 BALL VALVE - 3/4" FEMALE BSP X METER NUT | 2 |
| 103 | DN20 WATER METER - ICON WATER APPROVED | 1 |
| 104 | DN20 METER WALL MOUNT BRACKET - STAINLESS STEEL (REFER ICON WATER APPROVED PRODUCTS LIST) | 1 |

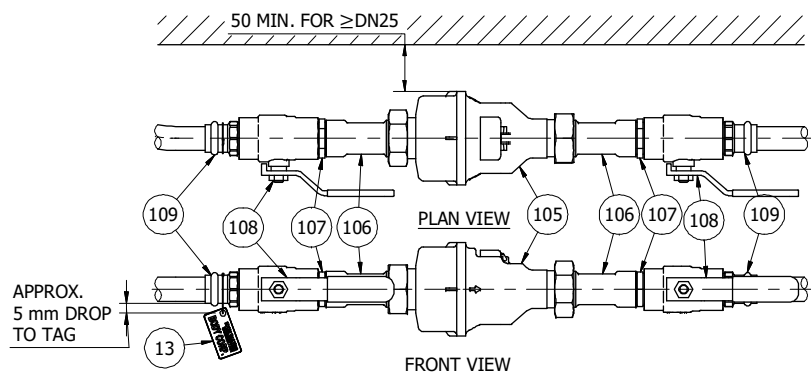


PLAN VIEW
(ROOF NOT SHOWN FOR CLARITY)
SCALE: 1 : 10

| PARTS LIST | |
|------------|--|
| ITEM | DESCRIPTION |
| 1 | COPPER TUBE, TYPE B, HARD-DRAWN |
| 2 | DN20 METER SUBASSEMBLY |
| 3 | SUPPORT AND FIXINGS TO AS3500 |
| 4 | DN25 METER ASSEMBLY |
| 5 | ENCLOSURE WALL WITH INSULATION (NOTE 3) |
| 6 | CONCRETE SLAB |
| 7 | DOOR FRAME |
| 8 | DOOR WITH INSULATION (NOTE 3) |
| 9 | DROP BOLT |
| 10 | ENCLOSURE ROOF WITH INSULATION (NOTE 3) |
| 11 | LOCK - HASP AND STAPLE (OR OTHER EQUIVALENT) |
| 12 | "WATER SUBMETER" SIGN REFER SD-1307 |
| 13 | UNIT METER IDENTIFICATION TAG (NOTE 5) REFER SD-1307 |



3D VIEW
CABINET EXTERIOR



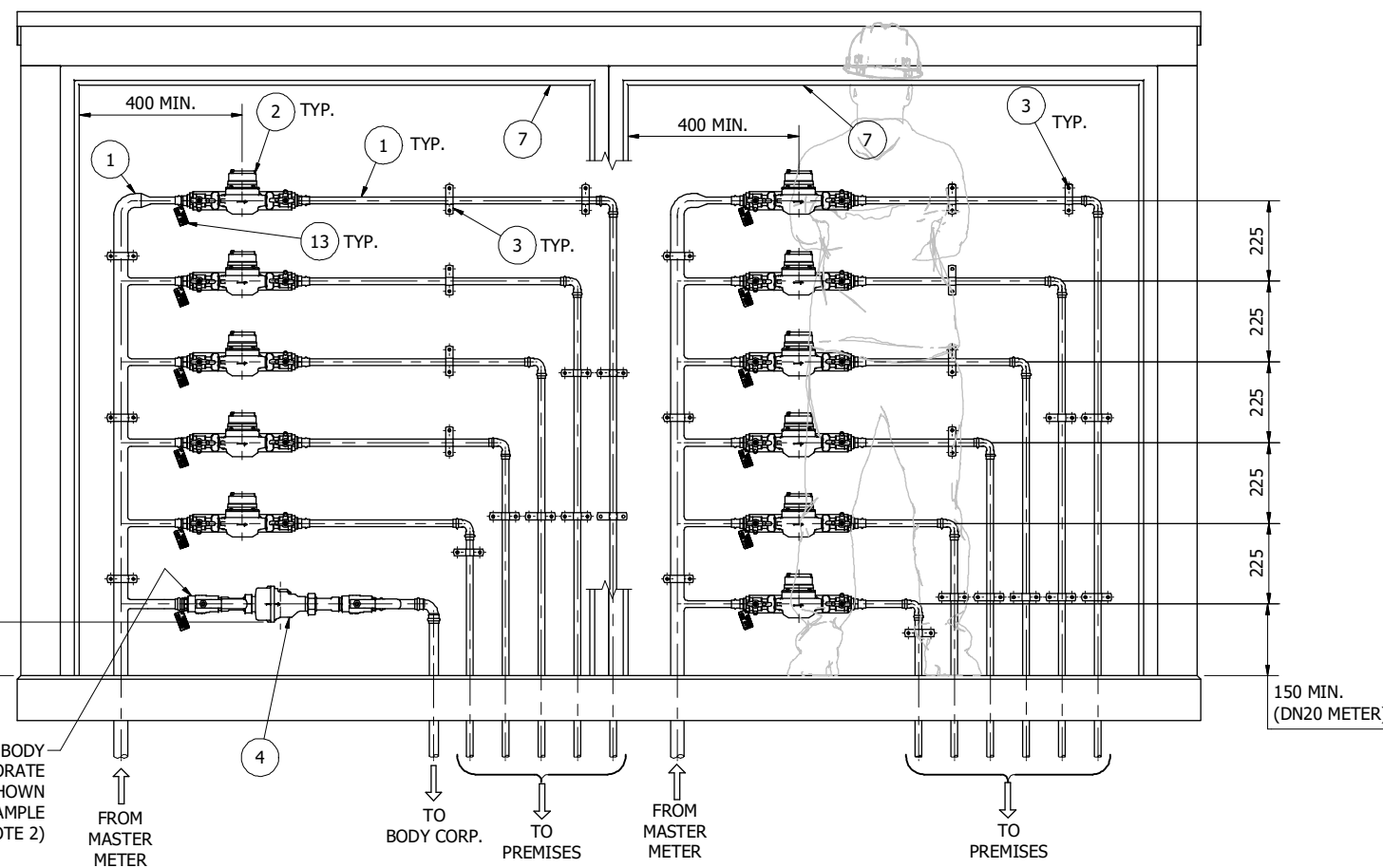
TYPICAL DN25 METER
SCALE: 1 : 4

| ITEM | DESCRIPTION | QTY |
|------|---|-----|
| 105 | DN25 WATER METER - ICON WATER APPROVED | 1 |
| 106 | DN25 UNION 1" FEMALE BSP x METER NUT (METER TAIL) | 2 |
| 107 | DN25 NIPPLE (1" BSP) | 2 |
| 108 | DN25 BALL VALVE, 1" BSP FEMALE-FEMALE, BRASS | 2 |
| 109 | 1" MALE BSP x DN25 PRESS FIT ADAPTOR | 2 |

NOTES:

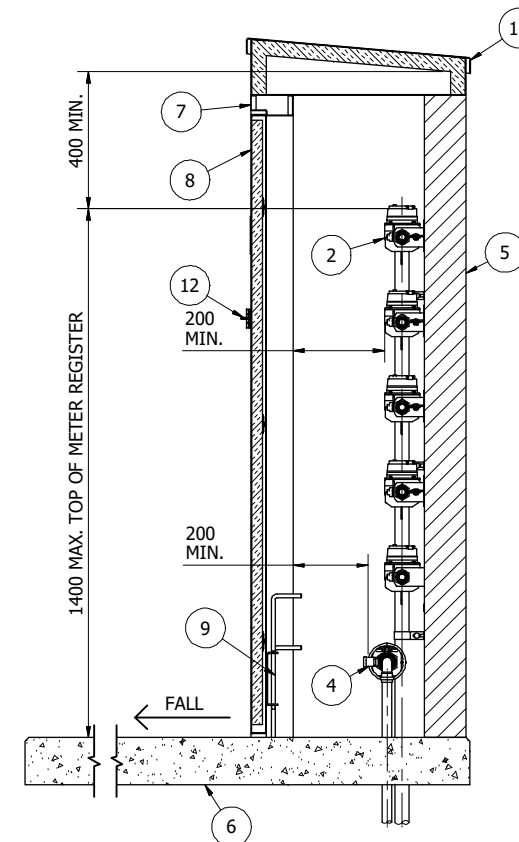
- ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- THIS DRAWING ILLUSTRATES A STANDARD ARRANGEMENT OF SUBMETERS ALONG WITH A CORPORATE METER IN AN ABOVE GROUND ENCLOSURE. IT IS DESIGNED TO HIGHLIGHT THE MINIMUM CLEARANCES REQUIRED FOR THE ENCLOSURE AND THE SPACING BETWEEN METERS. THE QUANTITY, TYPE, AND SIZE OF THE METERS WILL BE TAILORED TO EACH DEVELOPMENT.
- INSULATION BOARDS SHOULD BE PERMANENTLY SECURED USING MECHANICAL METHODS, SUCH AS SCREWS, BOLTS, OR CLIPS, ON THE DOORS, ROOF, AND WALLS.
- ALL PIPEWORK INSIDE THE ENCLOSURE MUST BE MADE OF TYPE B, HARD-DRAWN COPPER.
- METER ID TAGS SHOULD BE AFFIXED ON THE ADAPTER BEFORE THE UPSTREAM ISOLATION VALVE USING A 1 mm METER SEALING WIRE (SWAGED).
- PRESSURE REDUCING VALVES (PRV) MUST NOT BE INSTALLED WITHIN METER ENCLOSURES.
- THE ENCLOSURE SHOULD BE POSITIONED ON THE GROUND LEVEL, WITHIN THE PROPERTY BOUNDARY, ENSURING AN UNOBSTRUCTED WORKING SPACE FOR MAINTENANCE AND REPLACEMENT PURPOSES.

NO LESS THAN 150 ABOVE THE FINISHED FLOOR (≥DN25 METER)



FRONT ELEVATION
(DOORS AND PART OF DOOR FRAME NOT SHOWN FOR CLARITY)
SCALE: 1 : 10

- AESTHETICS IS NOT CONSIDERED A VALID REASON TO LOCATE THE ENCLOSURE IN AN INACCESSIBLE AREA OF THE DEVELOPMENT.
- THE DESIGN OF THE ENCLOSURE IS REQUIRED TO BE ADEQUATELY WATERPROOF AND DRAINED TO THE STORM WATER SYSTEM TO PREVENT SEEPAGE AND DAMAGE TO THE BUILDING.
- A MINIMUM CLEARANCE AREA IS REQUIRED ON THE ACCESS SIDE OF THE CABINET EXTENDING THE ENTIRE LENGTH OF THE CABINET AND WITH A WIDTH EQUAL TO THE WIDTH OF THE DOOR PLUS 0.6 m OR A MINIMUM OF 1.5 m (WHICHEVER IS GREATER).



SIDE ELEVATION (SECTIONAL)
SCALE: 1 : 10

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| WTP | SEW | |
| WPS | REC | |

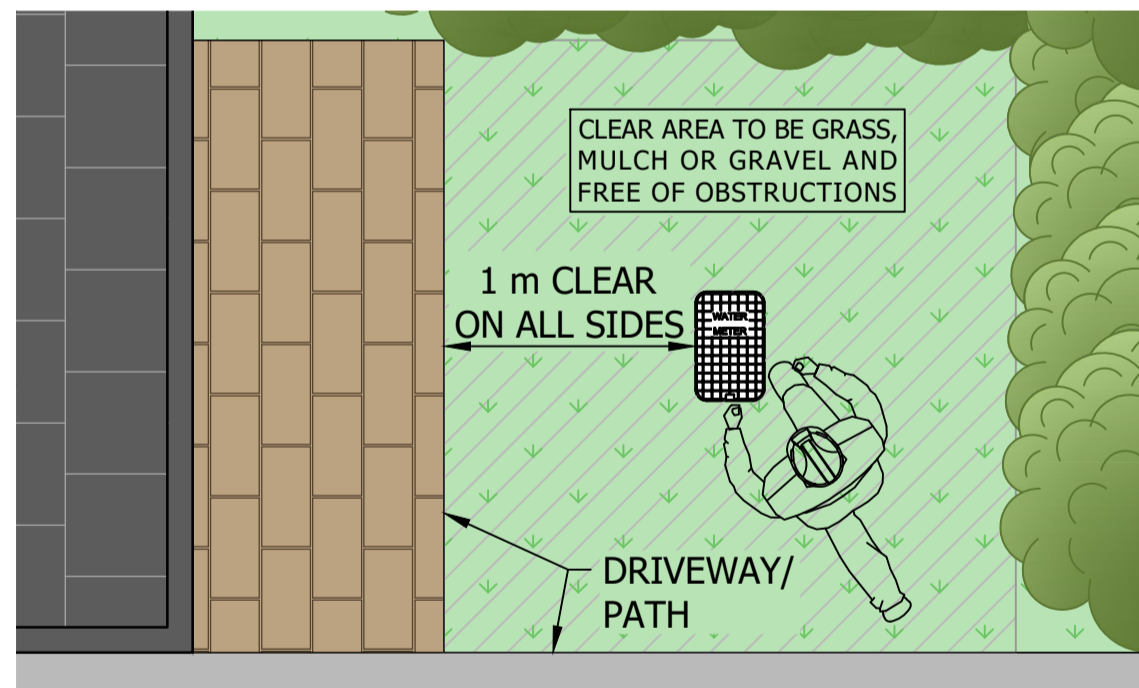


STANDARD DRAWING
UNIT METERING - UNIT TITLE DEVELOPMENTS
SUBMETERING ARRANGEMENTS
ABOVE GROUND TYPICAL DETAILS

| DRAWING STATUS |
|-------------------|
| Current |
| SD-3356-C |
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NOTES:

- THIS STANDARD DRAWING AND NOTES ARE TO BE READ IN CONJUNCTION WITH ICON WATER'S WATER METERING AND SERVICING GUIDELINES, STD-SPE-M006 AND RELEVANT STANDARD DRAWINGS, SERIES 3300.
- FOR STANDARD METER AND PROPERTY SERVICE LINE INSTALLATION DETAILS REFER TO ICON WATER STANDARD DRAWINGS.
- TO MINIMISE ROOT DAMAGE, IT IS ESSENTIAL TO PLANT TREES IN SUCH A WAY THAT THEIR MATURE CANOPY DOES NOT EXTEND OVER THE PIPE PROTECTION ENVELOPE. THE CUSTOMER MUST ENSURE THAT THE DESIGNATED CONNECTION POINT AND METER ARE FREE OF OBSTRUCTIONS.
- SERVICE CONNECTION PITS AND CABINETS SHALL BE INSTALLED MIN. 1 m CLEAR OF DRIVEWAYS.
- THE LOCATION OF MASTER METER AND SUBMETERS SHALL ALLOW UNHINDERED ACCESS BY ICON WATER. "UNHINDERED" ACCESS TO READ A WATER METER IS ACHIEVED WHEN THE ROUTE FROM THE ROADWAY TO THE METER PERMITS THE METER READER TO WALK COMFORTABLY, SAFELY AND DIRECTLY TO THE METER OVER A FIRM SURFACE WITHOUT GUIDANCE OR ASSISTANCE
- UNDESIRABLE METER READING OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO, TREE BRANCHES LOWER THAN 2 m ABOVE THE GROUND, LOCKING GATES, FENCES, HEDGES, PLANTS WITH THORNS, RETAINING WALLS, PONDS, STEEP BANKS AND GARDEN FEATURES THAT HIDE THE METER BOX/PIT.
- FOR THIS ARRANGEMENT TO BE ACCEPTED, IT IS REQUIRED THAT THE DESIGN PACKAGE EXPLICITLY SHOWS 24/7 ACCESS. THE ACCESS ROAD DESIGN MUST ACCOMMODATE ICON WATER'S "FITTER" TRUCK AND PROVIDE SUITABLE PARKING FOR THE TRUCK.
- FOLLOWING SAFETY REVIEWS WITH STAKEHOLDERS AND ICON WATER MAINTENANCE TEAMS, ICON WATER PREFERS THE INSTALLATIONS WHERE SUBMETERS ARE GROUPED AND INSTALLED IN AN ENCLOSURE (SD-3355 AND SD-3356) THIS CONFIGURATION SIMPLIFIES MAINTENANCE AND METER READING BY CENTRALISING SUBMETERS IN A SINGLE ACCESSIBLE LOCATION.

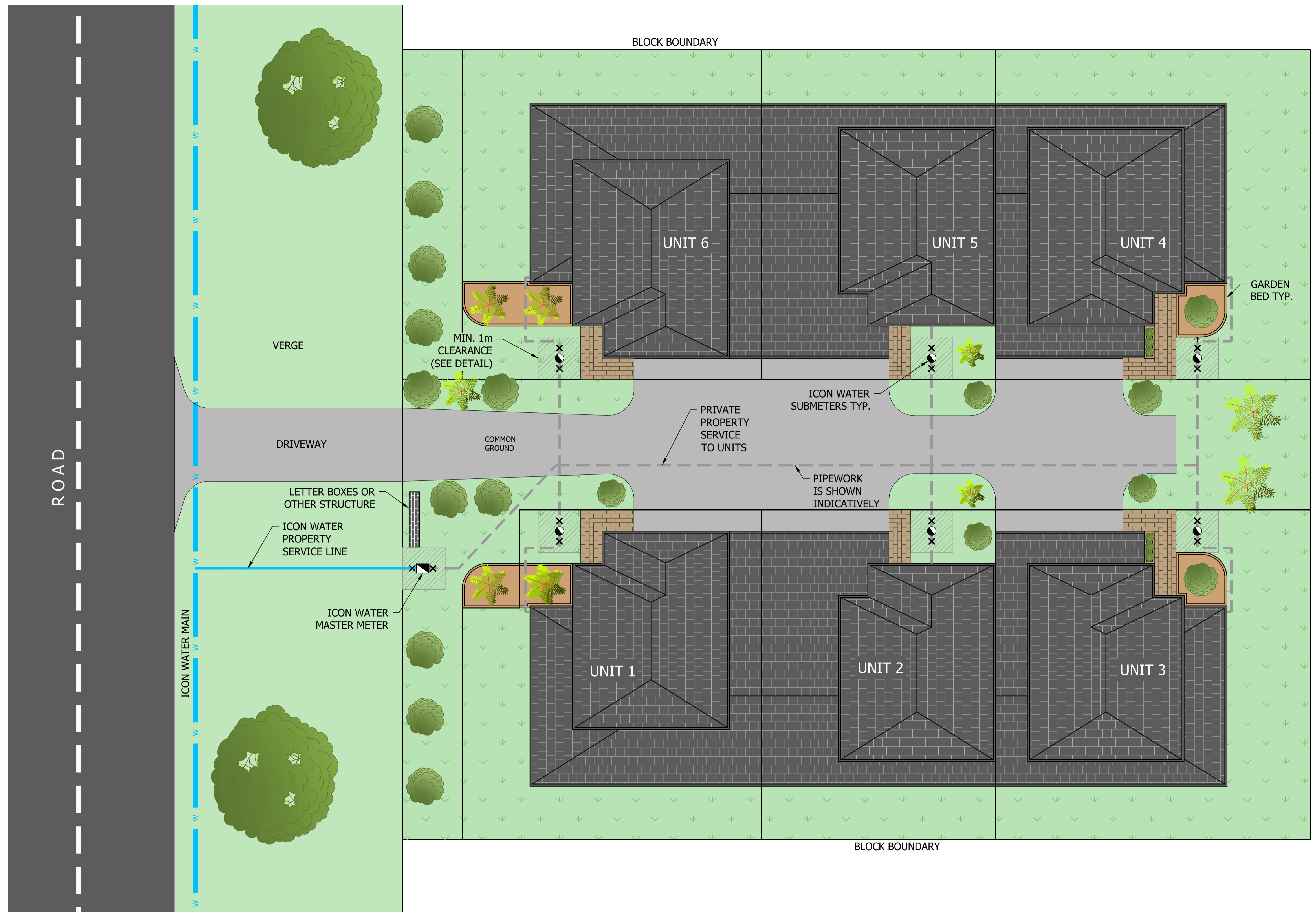


DETAIL - METER CLEARANCES

LEGEND:

- WATER MAIN
- PROPERTY SERVICE LINE (ICON WATER)
- PROPERTY SERVICE (PRIVATE)
- ICON WATER MASTER METER
- ICON WATER SUBMETER
- METER ISOLATION VALVE
- CLEARANCE ZONE
- TREE / SHRUB / PLANT

TYPICAL UNIT TITLE DEVELOPMENT FOR PROPERTIES WITH A MASTER METER AT BOUNDARY AND BELOW GROUND SUBMETERS AT EACH UNIT (MAX. 10 SUBMETERS)



| | | |
|-----|-----|-------|
| DAM | RES | SPS |
| BWS | WAT | X STP |
| WTP | SEW | |
| WPS | REC | |



STANDARD DRAWING
UNIT METERING - UNIT TITLE DEVELOPMENTS
CLASS B SUBMETERING ARRANGEMENTS
TYPICAL BELOW GROUND "INDIVIDUAL" INSTALLATION

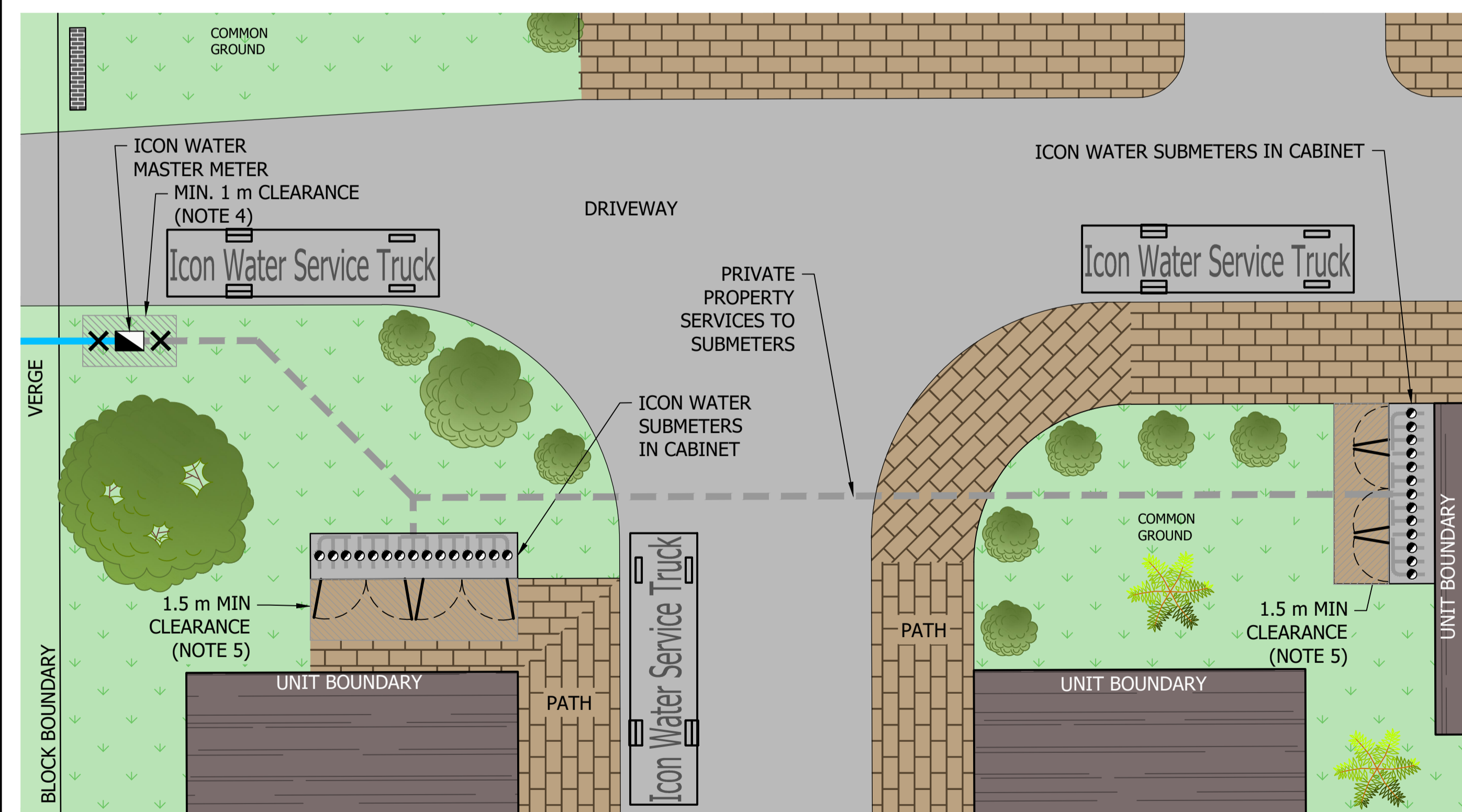
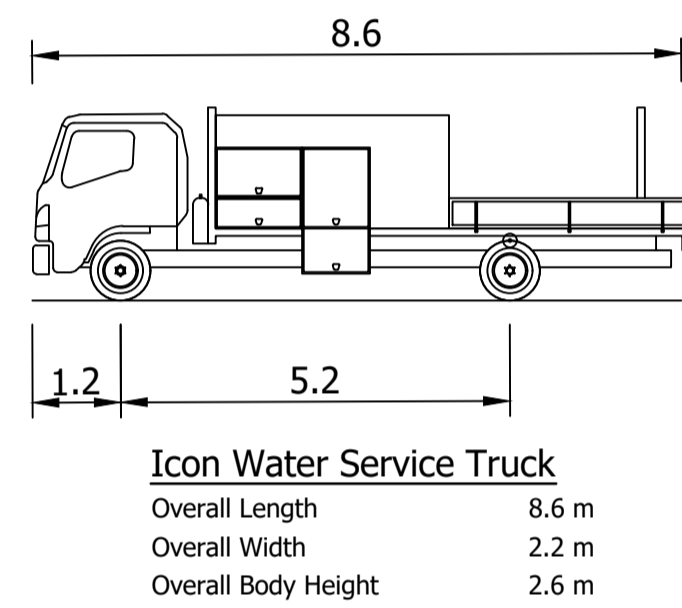
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| A1 | ISSUE A |

| No. | ISSUE | DATE | DRAWN | CHECKED | AUTHORISED |
|-----|---------------|------------|-------------|----------|---------------|
| 1 | INITIAL ISSUE | 24/09/2024 | M. Matusiak | G. Price | S. Asadollahi |

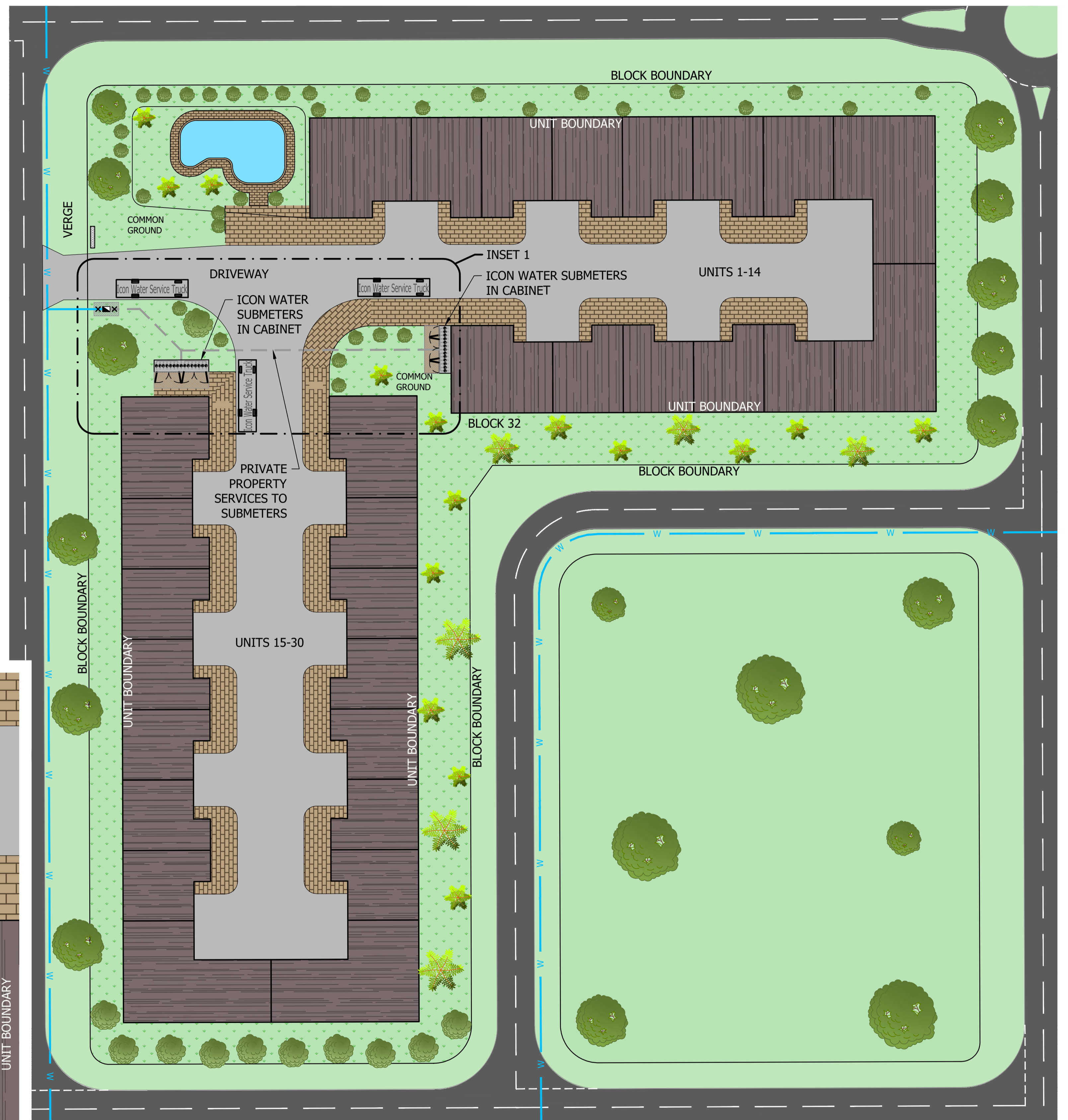
- NOTES:**
- THIS STANDARD DRAWING AND NOTES ARE TO BE READ IN CONJUNCTION WITH ICON WATER'S WATER METERING AND SERVICING GUIDELINES, STD-SPE-M006 AND RELEVANT STANDARD DRAWINGS, SERIES 3300.
 - FOR STANDARD METER AND PROPERTY SERVICE LINE INSTALLATION DETAILS, REFER TO ICON WATER STANDARD DRAWINGS.
 - ICON WATER REQUIRES ACCESS TO SUBMETERS FOR BILLING PURPOSES AND FOR MAINTENANCE AND REPLACEMENT. ALL METERS MUST BE INSTALLED IN A LOCATION WHICH ENSURES UNRESTRICTED ACCESS.
 - SERVICE CONNECTION PITS SHALL BE INSTALLED MIN. 1 m CLEAR OF DRIVEWAYS.
 - FOR SUBMETERS IN A CABINET A MINIMUM CLEARANCE AREA IS REQUIRED ON THE ACCESS SIDE OF THE CABINET EXTENDING THE ENTIRE LENGTH OF THE CABINET AND WITH A WIDTH EQUAL TO THE WIDTH OF THE DOOR PLUS 0.6 m OR A MINIMUM OF 1.5 m (WHICHEVER IS GREATER).
 - THE LOCATION OF MASTER METER AND SUBMETERS SHALL ALLOW UNHINDERED ACCESS BY ICON WATER. "UNHINDERED" ACCESS TO A WATER METER IS ACHIEVED WHEN THE ROUTE FROM THE ROADWAY TO THE METER PERMITS AN ICON WATER MAINTENANCE TRUCK TO DRIVE SAFELY AND DIRECTLY TO THE METER CABINET.
 - UNDESIRABLE OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO, TREE BRANCHES LOWER THAN 2 m ABOVE THE GROUND, LOCKING GATES, FENCES, HEDGES, PLANTS WITH THORNS, RETAINING WALLS, PONDS, STEEP BANKS AND GARDEN FEATURES THAT HIDE THE METER CABINET.
 - THE SUBMETERS MUST BE LOCATED WITHIN THE COMMON AREA OF THE DEVELOPMENT, ENSURING IT IS NOT POSITIONED WITHIN AN INDIVIDUAL UNIT. THE LOCATION MUST PROVIDE SAFE AND ERGONOMIC ACCESS FOR ICON WATER STAFF ENABLING THEM TO INSPECT, MAINTAIN AND REPLACE THE METERS AS REQUIRED.
 - ICON WATER WILL NOT BE RESPONSIBLE FOR PLUMBING WORK BETWEEN THE MASTER METER AND THE SUBMETERS, FITTINGS UPSTREAM AND DOWNSTREAM OF THE SUBMETER ISOLATION VALVES ON EITHER SIDE OF THE SUBMETER.
 - THE ENCLOSURES SHALL BE MARKED WITH SIGNAGE DISPLAYING "WATER SUBMETERS" (REFER SD-1307) ON THE OUTSIDE OF THE DOOR. WHERE MORE THAN ONE SUBMETER ENCLOSURE IS INSTALLED, EACH ENCLOSURE SHALL HAVE AN ID NUMBER.

LEGEND:

- WATER MAIN
- PROPERTY SERVICE LINE (ICON WATER)
- PROPERTY SERVICE (PRIVATE)
- ICON WATER MASTER METER
- ICON WATER SUBMETER
- METER ISOLATION VALVE



INSET 1 - MASTER METER AND SUBMETER ARRANGEMENT



TYPICAL LARGE UNIT TITLE DEVELOPMENT WITH MASTER METER AT BOUNDARY AND SUBMETERS IN CABINET POSITIONED REMOTELY AT ACCESSIBLE LOCATIONS

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| ASSET AREA APPLICABILITY | | |
|--------------------------|-----|-----|
| DAM | RES | SPS |
| BWS | WAT | STP |
| WTP | SEW | |
| WPS | REC | |



STANDARD DRAWING
 UNIT METERING - UNIT TITLE DEVELOPMENTS
 CLASS B SUBMETERING ARRANGEMENTS
 TYPICAL GROUPED SUB-METERS WITHIN ENCLOSURES

| DRAWING STATUS | |
|------------------|---------|
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| A1 | ISSUE A |